

Rose Kennedy Greenway Conservancy

Chinatown Fountain Streambed Repair Request for Proposals

Response Deadline: **November 4, 2024**

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Exhibit A: Project Location

**Exhibit B: Chinatown Fountain Streambed Repair Bid Documents (Dated 09-27-2024) with
Addendum 1 (Dated 10-18-2024)**

Exhibit C: Chinatown Fountain Streambed Repair Bid Form (Dated 09-27-2024)

I. DESCRIPTION

The Rose Kennedy Greenway Conservancy (Conservancy) has prepared this Request for Proposal (RFP) for the purpose of soliciting Proposals (Proposal) from interested proposers (Proposer or Proposers) for the repair of the Chinatown fountain streambed on the Rose Kennedy Greenway (The Greenway) in Boston, MA. The Chinatown fountain is an approximately 120' long stream-type water feature fed by three elevated basins. Water fills these three basins, cascades over large granite feature rocks, and is channeled through the stream section of the fountain over riverstone, terminating at a drain that collects the water to be recirculated. Now over 15 years old, the Chinatown fountain is exhibiting material deterioration and requires repair.

The project location is noted in Exhibit A. The scope of remediation shall be as described in Section II. Scope of Work with a target completion date no later than May 2, 2025.

II. SCOPE OF WORK

The scope of work for the repair of the Chinatown fountain is as described in Exhibit B, Exhibit C, and herein (Section II. Scope of Work) including but not limited to: Demolition of the existing streambed riverstone and setting bed, repairs as needed to the streambed concrete slab, installing new waterproofing and riverstone, replacing stream uprights, and removing granite stones as needed to complete work. The Contractor shall be responsible for securing all necessary permits to complete work and shall participate in construction meetings with the Conservancy including but not limited to the milestones set out below, and as reasonably requested by the Conservancy:

- Pre-construction meeting
- Submittal review
- Weekly construction meetings (hosted by the Contractor)
- Punchlist walkthrough
- Final walkthrough

As The Greenway is an active urban park space, the Contractor may be required to coordinate with the Conservancy as it relates to the repair of the Chinatown fountain and its effect on horticulture, planned events, etc.

III. RFP ESTIMATED SCHEDULE

| Phase | Date |
|---|-------------------------------|
| RFP released | October 4, 2024 |
| Site visit | October 17, 2024 @ 9am |
| Any questions due via email | October 21, 2024 @ 5pm |
| Answers to RFP questions posted on The Greenway's website | October 28, 2024 @ 5pm |
| Deadline for Proposals | November 4, 2024 @ 5pm |
| Proposer team interviews | Nov 18, 2024 - Dec 6, 2024 |
| Proposer team selected | By December 16, 2024 |
| Contract executed | By January 6, 2025 |

*For the site visit, please RSVP via email to rtzen@rosekennedygreenway.org. We will meet in Chinatown Park under the traditional gate over Beach Street on **Thursday, October 17, 2024 at 9am**, weather dependent.

IV. PROPOSAL REQUIREMENTS

4.1 WRITTEN PROPOSAL

A. Experience:

Provide examples of comparable projects, including location and description of scope. Summarize critical challenges faced and subsequent outcomes.

B. Staff and Qualifications:

Provide a description of the team including but not limited to the project manager, key staff, and subcontractors. Include descriptions of role, responsibilities, qualifications, and involvement in comparable projects.

C. References:

Provide contact information for three references of clients and/or organizations with comparable contracts that can attest to your abilities. References should have firsthand work experience with your company within the past 5 years.

4.2 FEE PROPOSAL

Please provide an itemized cost proposal that meets the scope as outlined above utilizing **Exhibit C: Chinatown Fountain Streambed Repair Bid Form (Dated 09-27-2024)**.

4.3 CONSTRUCTION SCHEDULE

Please provide an Itemized construction schedule that includes a GANTT chart, or similar, and that meets the scope of work as described in Section II. Proposers may provide additional documents to clarify the proposed construction schedule.

The target completion date for the Chinatown fountain streambed repair project is no later than May 2, 2025.

4.4 INSURANCE

The following insurance requirements represent the minimum required insurance coverages and limits that the Contractor will need to provide, as further detailed in the contract. It is understood that these limits will not limit the liability of the Contractor.

A. Workers Compensation

Contractor shall maintain the following workers compensation limits:

Coverage A Workers Compensation: Statutory as Required by Massachusetts Law

Coverage B Employers Liability:

- bodily injury by accident \$500,000 each accident
- bodily injury by disease \$500,000 each employee
- bodily injury by disease \$500,000 policy limit

B. Property

Contractor must secure property insurance on an all risk basis, subject to full replacement cost for all property used in conjunction with Contractor's operations with the Conservancy. Such insurance should contain a waiver of subrogation stating Contractor waives all rights of subrogation against the Conservancy for loss to Contractor's property. It is agreed that the Conservancy is not responsible for any loss whatsoever to Contractor's property.

C. Automobile Liability

Contractor shall maintain the following minimum limits of automobile liability insurance:

- \$1,000,000 per accident, bodily injury and property damage combined
- Coverage must include non-owned and hired liability.

D. General Liability

Contractor shall maintain the following minimum limits of general liability insurance:

- \$1,000,000 per occurrence for bodily injury and property damage
- \$5,000 medical expense
- \$1,000,000 personal injury
- \$2,000,000 general aggregate
- \$1,000,000 products / completed operations

Coverage must be equivalent to the most recent edition of ISO Form CG 01 01.

Coverage must be provided on a first dollar basis without a deductible. General liability policies subject to a deductible will need to be approved by the Conservancy.

E. Umbrella

Contractor shall maintain the following umbrella limits:

- \$5,000,000 per occurrence
- \$5,000,000 aggregate

Self Insured Retention: Not to exceed \$10,000.

Coverage should be equivalent or broader than the coverage afforded on the underlying general liability, automobile liability and employers liability grant within the workers compensation policy.

F. Other requirements

Certificates of Insurance evidencing the above required coverages must be provided to the Conservancy at the execution of contract. Certificates of Insurance must be provided naming the following entities as Certificate Holders:

- Rose Fitzgerald Kennedy Greenway Conservancy, Inc.; 185 Kneeland St.; Boston, MA 02111
- City of Boston; One City Hall Square; Boston, MA 02201
- Massachusetts Department of Transportation; 10 Park Plaza, Suite 3170; Boston, MA 02116

Insurance Carriers must be authorized to write business in the Commonwealth of Massachusetts and have a minimum AM Best Rating of A- VII. Certificates must specify the current AM Best Rating of each insurance carrier providing insurance to Contractor.

Certificates must also specifically state the above entities are named as additional insureds on the general liability, automobile liability, and umbrella liability policies. The certificate must also state that the coverage is being afforded to the additional insured on a primary and non-contributory basis.

All policies required must include a waiver of subrogation, waiving all of Contractor's rights against the Conservancy, The City of Boston, and the Massachusetts Department of Transportation. Certificate must note the same. The workers compensation policy must be specifically endorsed as such.

The certificate should indicate that 30 days' notice of cancellation or nonrenewal to each certificate holder will be provided. Any "endeavor to provide notice" should be deleted. The policies must be specifically endorsed to provide notice to the certificate holders.

Failure to provide property and casualty insurance certificates meeting the requirements detailed herein could result in revocation of acceptance and denial of access to The Greenway.

All insurance required must be maintained throughout the duration of the contract. If at any time during the Term of Contractor's contract with the Conservancy evidence of current insurance is not on file with the Conservancy, then Contractor's right to occupy its designated Location(s) and provide Services will be suspended until Contractor provides the Conservancy with acceptable evidence of the required insurance.

4.5 SUBMISSION DEADLINE

RFP submittals must be submitted electronically by **November 4, 2024 by 5:00 pm**. All materials must be emailed as attachments (no more than 25MB in total file size) to:

rtzen@rosekennedygreenway.org with **"Chinatown fountain streambed repair"** as the subject line.

V. EVALUATION PROCESS

The Conservancy will evaluate all Proposals in accordance with the provisions of this RFP, based on the criteria described below. In its evaluation, the Conservancy may consider all information contained in each Proposer's Proposal and any other information obtained by the Conservancy.

The Conservancy will award the contract in accordance with the "CONTRACT AWARD" section below. Before the contract is awarded the Conservancy may first conduct interviews with selected Proposers. The purpose of the interviews will be to clarify and assure understanding of the contents of the Proposal, as well as the requirements of the RFP and the potential Contract, discuss with selected Proposers deficiencies or uncertainties in their Proposal, discuss cost and fee information, and discuss any other matters relevant to such Proposal. No statements made or actions taken by any representative of the Conservancy during such discussions shall be binding on the Conservancy. If requested by the Conservancy, some or all of the key personnel identified in the Proposer's Proposal will be required to participate in the discussions or to be available for an interview with Conservancy representatives.

5.1 EVALUATION CRITERIA; BEST AND FINAL OFFER

The criteria listed below will be applied to evaluate the Proposals.

A. Best Value

The Conservancy shall select the Contractor, based on the Conservancy's assessment, in its sole discretion, of which Proposal represents the Best Value to the Conservancy. For purposes of this RFP, "Best Value" shall be deemed to mean the Proposal, which best balances and supports the following objectives: quality of work, economic value, timely performance, minimal administrative burden, prior experience, and the continuing participation of quality Contractors.

B. Best and Final Offer

At any time after submission of Proposals and prior to the final selection of a contractor for this project, the Conservancy shall have the option to provide Proposers with an opportunity to provide a “best and final offer” and may limit the number of Contractors selected for this option.

5.2 CONTRACT AWARD

The Conservancy reserves the right to reject any and all Proposals if it determines that such action is in the best interest of the Conservancy.

This RFP is not binding on the Conservancy. The Conservancy assumes no responsibility for the costs incurred in the preparation of a Proposal or related activities. This RFP and attached Exhibits have been prepared solely to solicit Proposals, and are not contract offers. The only documents that will be binding on the Conservancy are the contract duly executed by the Conservancy and the Contractor.

Proposals shall be considered a firm offer and shall remain effective unconditionally for a minimum of 1 year.

5.3 BOARD APPROVAL

In all cases, the award of the contract shall be subject to the approval of the Members of the Board of Directors of the Conservancy.

VI. TERMS AND CONDITIONS

6.1 AMENDMENTS

The Conservancy may, at any time prior to the execution of a definitive contract, and without penalty, amend this RFP or change the requirements, scope, budget or procurement schedule upon notice to Proposers. Any amendment shall be issued by means of written addendum. Any and all addenda so issued shall become part of the RFP.

6.2 PROCUREMENT CANCELLATION

The Conservancy may for any reason, and at any time prior to the execution of a definitive contract, and without penalty, notify Proposers of a cancellation of this procurement process and the rejection of all Proposals.

6.3 CORRECTIONS TO A SUBMITTED PROPOSAL

The Executive Director of the Conservancy shall determine whether to allow the correction of errors or omissions in a Proposal.

6.4 REFERENCES

The Conservancy shall have the right to request references, in addition to any references or examples of past projects specified in the RFP, at any time during the procurement process and at any time during the period of contract performance. The Conservancy may verify any references included in a Proposal and conduct any other reference or credit checks as it deems appropriate. The Conservancy may consider any written references, including documentation of performance records of a Proposer on file at the Conservancy or solicited from any other entity, documentation of reference checks or other documentation solicited by or submitted to the Conservancy during the procurement process.

6.5 DISQUALIFICATION

- A. The Conservancy may disqualify any Proposal that it determines in its sole discretion to be unresponsive, including, but not limited to:
 - a. Proposals which are received after the deadline for submission specified in an RFP.
 - b. Proposals that fail to meet, address or comply with material requirements in an RFP, including instructions for submission, content or format.
 - c. Proposals which indicate collusion or unfair trade practices by one or more Proposers agreeing to act in a manner intended to avoid or frustrate the process described herein or any law or regulation.
 - d. Proposals submitted by a Proposer, or which identify a subcontractor, currently listed on the Conservancy's "Non-Qualified Contractor" list.
 - e. Proposals submitted by a Proposer which have an actual or potential conflict of interest, as determined by the Conservancy's Audit and Risk Management Committee, based on the information disclosed on the Proposal or on any other credible information regarding the Proposer, obtained from any reference or other source.

- B. The failure of the Conservancy to immediately reject a Proposer whose Proposal is otherwise non-responsive or unacceptable shall not preclude the Conservancy from subsequently rejecting such Proposal.

- C. In addition to the foregoing, a selected Proposer's Proposal shall be disqualified if the Conservancy in its sole discretion determines that the Proposer:
 - a. is intentionally or unreasonably delaying the timely execution of a definitive agreement;
 - b. negotiates in bad faith;
 - c. refuses to execute a definitive agreement; or
 - d. is unable to reach final agreement on contractual terms with the Conservancy within a reasonable time as determined by the Conservancy.

D. If a selected Proposer's Proposal is disqualified for any reason, the Conservancy may (but shall not be required to) negotiate a contract with the next Best Value qualified Proposer.

6.6 PRESS CONFERENCE, NEWS RELEASE RESTRICTIONS; PUBLIC RECORDS LAW

No Proposer shall make any news release or announcement, or hold any press conference, concerning its selection or non-selection for a contract prior to the Conservancy's public release of said information. The Conservancy is subject to the Massachusetts Public Records Law (M.G.L. ch. 66, Sec. 10), and will comply with any requests for information regarding this procurement process to the extent required by law.

6.7 CONTRACT AND AMENDMENT NEGOTIATION

The Conservancy may negotiate with the selected Proposer prior to execution of a contract, and with the Contractor after a Contract has been executed, with respect to cost, scope, or any other term or aspect of the work that is the subject of this RFP.

EXHIBIT A

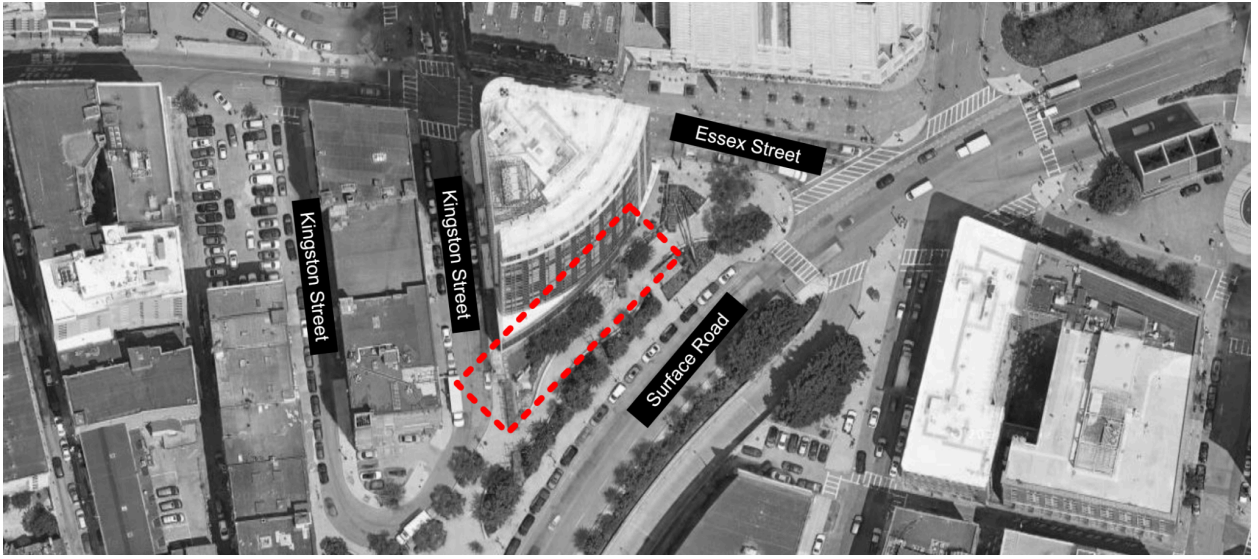


EXHIBIT B

– See document(s) that follow –

CLIENT:
ROSE KENNEDY GREENWAY CONSERVANCY
 185 KNEELAND STREET
 BOSTON, MA 02111

ARCHITECT:
GORMAN RICHARDSON LEWIS ARCHITECTS
 239 SOUTH STREET
 HOPKINTON, MA 01748
www.grlarchitects.com



CHINATOWN FOUNTAIN STREAMBED REPAIR

34W LINCOLN STREET, BOSTON, MA 02111

BID DOCUMENTS

SEPTEMBER 27, 2024

DRAWING INDEX

| | DATE ISSUED | |
|---|---|---|
| | 1995 CONSTRUCTION DOCUMENTS SEPTEMBER 13, 2024 | 2024 CONSTRUCTION DOCUMENTS SEPTEMBER 27, 2024 |
| ARCHITECTURAL | | |
| G0.0 COVER SHEET | X | X |
| G0.1 GENERAL NOTES & SPECIFICATIONS | X | X |
| G0.2 GENERAL NOTES & SPECIFICATIONS | X | X |
| G1.0 SITE PLAN | X | X |
| A1.0 EXISTING FOUNTAIN & RIVER BED PLAN | X | X |
| A7.0 DETAILS | X | X |
| A7.1 DETAILS | X | X |
| A7.2 DETAILS | X | X |
| A7.3 ALTERNATE DETAILS | X | |
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NEW OR REVISED ISSUE: X
 NON REVISED ISSUE: --

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Gorman Richardson Lewis Architects
 239 South Street Hopkinton, MA 01748
www.grlarchitects.com

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1 SITE PLAN
SCALE: N.T.S.



2 EXISTING WATERFALL CONDITIONS
SCALE: N.T.S.



3 EXISTING RIVERBED CONDITIONS
SCALE: N.T.S.



4 EXISTING RIVERBED DRAIN CONDITIONS
SCALE: N.T.S.

- ### GENERAL NOTES
1. THE BASELINES FOR THESE SITE PLANS WERE TAKEN FROM SATELLITE IMAGERY AND REPRESENTATIVE IN-FIELD MEASUREMENTS. ALL DIMENSIONS SHOWN ARE APPROXIMATE; CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD.
 2. ADJACENT STREETS AND EMERGENCY VEHICLE ENTRANCEWAYS MUST REMAIN OPEN AT ALL TIMES. CONTRACTOR TO APPLY FOR AND RECEIVE APPROPRIATE PERMITTING FOR MOBILIZATION AND DEMOBILIZATION THAT REQUIRES OBSTRUCTION OF ADJACENT STREETS AND TRAFFIC PATTERNS.
 3. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREAS OR FROM WALKING UNDER WORK LOCATIONS.
 4. PROVIDE CHAIN LINK FENCE AROUND STAGING LOCATIONS TO PREVENT UNAUTHORIZED ACCESS.
 5. THE CONTRACTOR IS TO PROVIDE LOCKS AROUND FENCING TO PREVENT UNAUTHORIZED ACCESS TO THE WORK SITE.
 6. THE CONTRACTOR IS TO PROVIDE TEMPORARY SIGNAGE TO DIRECT THE FLOW OF PEDESTRIAN TRAFFIC IN A SAFE MANNER AWAY FROM THE WORK SITE.
 7. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPOSED STAGING/LAYDOWN AREAS FOR THE OWNER'S REVIEW THAT WILL MINIMIZE DISRUPTIONS TO FOOT TRAFFIC IN THE GENERAL AREA.
 8. COORDINATE THE DISCONNECTION AND RECONNECTION OF ANY SITE UTILITIES WITH THE OWNER PRIOR TO PERFORMING THE WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR'S PROJECT WORK ACTIVITY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWN COST AND TO THE SATISFACTION OF THE OWNER.
 9. CONTRACTOR PARKING ON SITE IS NOT PERMITTED. CONTRACTOR TO COORDINATE PUBLIC PARKING.
 10. HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS OF QUANTIFYING.
 11. THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER'S REQUIREMENTS.
 12. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
 13. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
 14. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
 15. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.
 16. NO HAZARDOUS MATERIAL SAMPLING AND TESTING HAS BEEN PERFORMED. IF A SUSPECTED HAZARDOUS MATERIAL IS ENCOUNTERED, THE CONTRACTOR IS TO ADHERE TO ALL APPLICABLE PROTOCOLS IN REGARD TO HANDLING, DEMOLITION, ABATEMENT AND DISPOSAL AS DICTATED BY LOCAL, STATE, AND FEDERAL REQUIREMENTS.

LEGEND

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|--|------------------------|--|---|
| | NOT IN CONTRACT | | PROPOSED FENCING PERIMETER |
| | LIMIT OF WORK | | OWNER'S PROPERTY LINE; APPROXIMATE LIMITS. TO BE CONFIRMED. NO FENCING, LAYDOWN, ETC. TO OCCUR BEYOND THESE EXTENTS |
| | PROPOSED LAY DOWN AREA | | PEDESTRIAN WALKWAY; TO REMAIN UNIMPEDED DURING CONSTRUCTION |
| | BUILDING ENTRANCE | | |
| | ELEVATION MARKER | | |

LOCUS PLAN

CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT
34W LINCOLN STREET
BOSTON, MA 02111

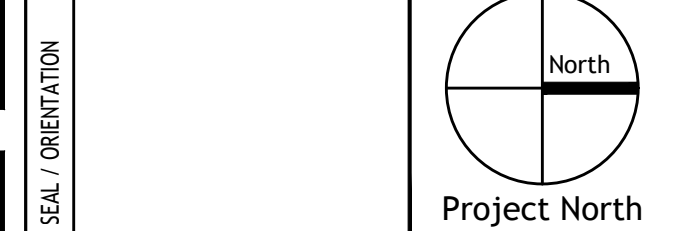
ROSE KENNEDY GREENWAY CONSERVANCY
185 KNEELAND STREET
BOSTON, MA 02111

G | R | L | A
Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com

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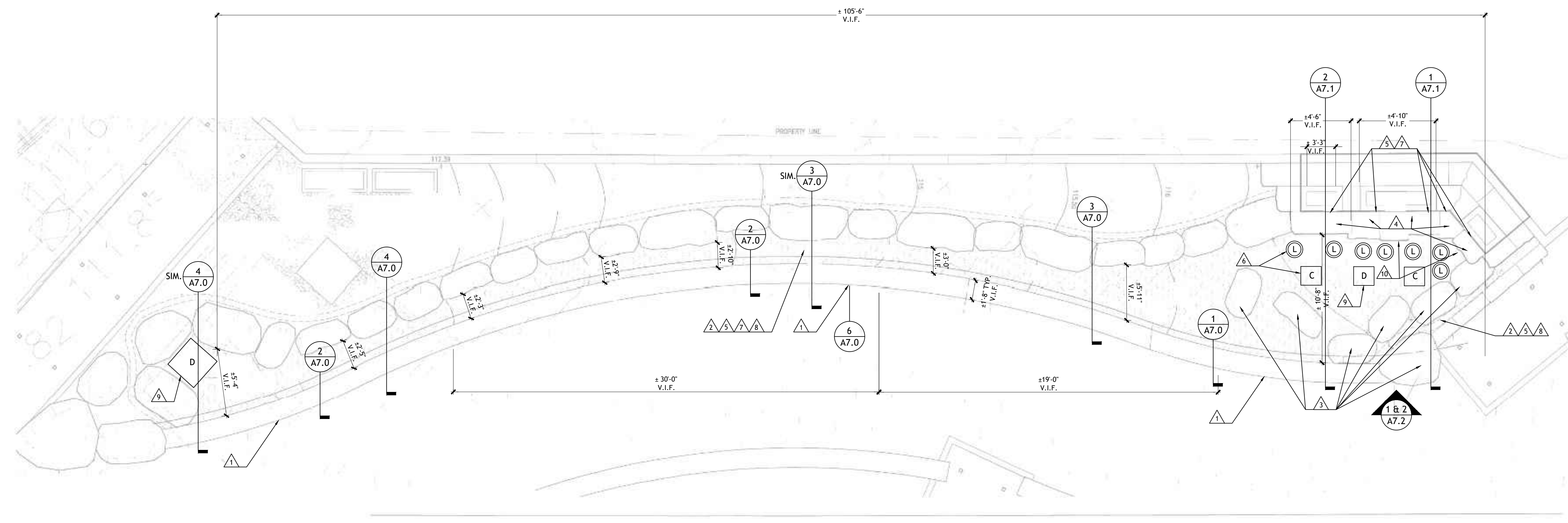
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SITE PLAN

G1.0

2024031.01 CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT - BID DOCUMENTS - SEPTEMBER 24, 2024

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1 EXISTING FOUNTAIN & RIVER BED PLAN
SCALE: 1/4" = 1'-0"
NOTE: EXISTING FIELD CONDITIONS MAY VARY FROM WHAT IS DISPLAYED ON EXISTING DRAWINGS. DIMENSIONS HAVE BEEN INCLUDED TO BE MORE REPRESENTATIVE OF FIELD CONDITIONS. CONTRACTOR TO VERIFY DIMENSIONS AND LOCATIONS OF WORK.

GENERAL NOTES

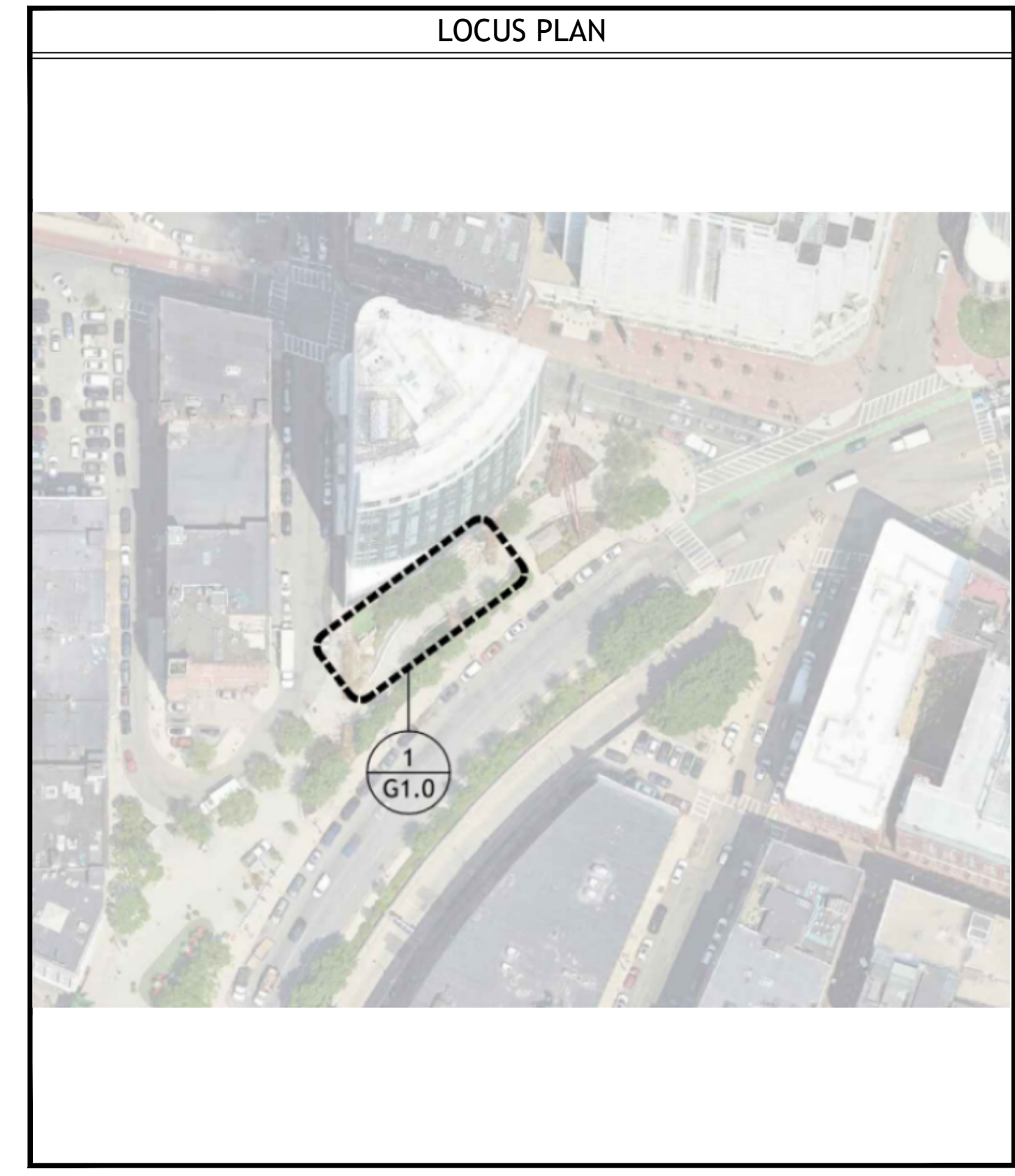
1. THE INFORMATION SHOWN ON THIS PLAN HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD.
2. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE PROPOSED STAGING/LAYDOWN AREAS FOR THE OWNER'S REVIEW THAT WILL MINIMIZE DISRUPTIONS TO FOOT TRAFFIC IN THE GENERAL AREA.
3. COORDINATE THE DISCONNECTION, RECONNECTIONS, OR CONNECTION OF ANY SITE OR FOUNTAIN UTILITIES WITH THE OWNER PRIOR TO PERFORMING THE WORK.
4. ALL WORK IS TO BE PERFORMED AT THE EXTERIOR. CONTRACTOR TO PROVIDE SANITARY FACILITIES FOR LABORERS; LOCATION TO BE COORDINATED WITH THE OWNER.
5. THE CONTRACTOR SHALL ENDEAVOR TO LIMIT INTERACTIONS WITH PEDESTRIANS, ADJACENT BUILDING OCCUPANTS, ETC.
6. ALL STONES, PAVERS, GRANITE BLOCKS, AND OTHER MATERIALS THAT ARE TO BE REINSTALLED SHALL BE TAGGED AND NUMBERED SO THAT THEY CAN BE REINSTALLED AT THE SAME LOCATIONS.
7. OVERALL FINISH GRADE OF NEW RIVER BED MATERIALS TO MATCH THAT OF THE EXISTING FINISH GRADES. PRIOR TO THE START OF WORK, THE CONTRACTOR IS TO REVIEW ALL FINAL GRADES WITH THE ARCHITECT PRIOR TO THE INSTALLATION OF NEW MATERIALS.

SCOPE OF WORK/KEYNOTES

- △ ALTERNATE #1 - (ADD) REPAIR CRACKS AT EXTERIOR CONCRETE CURB. REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE CURB TO REMAIN. ATTACHED GRANITE CURB TO REMAIN. SEE DWG 6/A7.0.
- △ REMOVE AND DISPOSE OF EXISTING RIVER STONES AND MORTAR SETTING BED DOWN TO EXISTING SLOPED CONCRETE RIVER BED.
- △ EXISTING STONE BLOCKS IN RIVERBED TO BE REMOVED AND STORED; REINSTALL AFTER INSTALLATION OF NEW WATERPROOFING SYSTEM AND MORTAR BED WITH EPOXY. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.
- △ REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT.
- △ REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE STRUCTURES TO REMAIN. INFORM THE ARCHITECT AND OWNER IF ANY SIGNIFICANT DETERIORATION IS ENCOUNTERED DURING DEMOLITION PROCEDURES.
- △ CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL SERVICES FOR RIVERBED LIGHTING. REMOVE AND DISPOSE OF EXISTING INSET RIVERBED LIGHTING; INSTALL AND CONNECT NEW INSET LED LIGHTING PER THE DIRECTION OF THE OWNER.
- △ NEW PMMA WATERPROOFING SYSTEM TO BE INSTALLED ON EXISTING CONCRETE RIVERBED STRUCTURE, CONCRETE CORE STRUCTURE AT WATERFALL, AND EXISTING WATERFALL "WELLS". HORIZONTAL SURFACES TO RECEIVE TYPICAL PMMA SYSTEM. VERTICAL SURFACES TO RECEIVE PPMA FLASHING SYSTEM. NEW REGLETS TO BE CUT INTO EXISTING CONCRETE AND GRANITE CURBS FOR TERMINATION OF NEW WATERPROOFING. COORDINATE WITH ARCHITECT PRIOR TO PERFORMING WORK ON REGLETS. NEW WATERPROOFING SYSTEM TO TERMINATE APPROXIMATELY 1/2" BELOW NEW MORTAR/RIVER STONE SETTING BED. WATERSTOPS TO BE INSTALLED WHERE INDICATED. REMOVE EXISTING GROUT AT JOINTS BETWEEN EXISTING GRANITE CURBS. INSTALL NEW GROUT TO FULL DEPTH AT JOINTS BETWEEN EXISTING GRANITE CURBS.
- △ INSTALL NEW MORTAR SETTING BED WITH NEW RIVER STONES TO IN-LIKE KIND CONDITION.
- △ CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL AND/OR MECHANICAL SERVICES AS REQUIRED IN ORDER TO PERFORM THE WORK. RECONNECTION TO BE PERFORMED UPON COMPLETION OF THE WORK.
- △ ALTERNATE #2 - (ADD) CUTTING OF A HORIZONTAL REGLET IN EXISTING CONCRETE SLAB IN FRONT OF WATERFALL GRANITE FASCIA. TERMINATION OF PMMA TO OCCUR AT THIS REGLET WITH COMPATIBLE POURABLE SEALER. (DEDUCT) REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. INSTALLATION OF PMMA AT WATERFALL "WELLS" AND VERTICAL CONCRETE CORE STRUCTURE IN CONJUNCTION WITH ASSOCIATED WATERSTOPS AND OTHER ACCESSORIES. SEE DWGS 1&2/A7.3.

LEGEND

- (L) EXISTING RIVERBED LIGHTING; TO BE REMOVED AND REPLACED.
- (D) EXISTING DRAIN/SUMP; TO REMAIN. NEW GASKETING TO BE INSTALLED AS NECESSARY
- (C) EXISTING LIGHTING CONDUIT BOX; TO REMAIN. NEW GASKETING TO BE INSTALLED AS NECESSARY



REVISIONS

| No. | Description | Date |
|-----|-------------|------------|
| 1 | ADDENDUM #1 | 10/18/2024 |

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SEAL / ORIENTATION

North
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Date: SEPTEMBER 27, 2024
Proj. No.: 2024031.01
Scale: AS NOTED
Drawn By: APK
Checked By: RG
File Name: A1_0.dwg

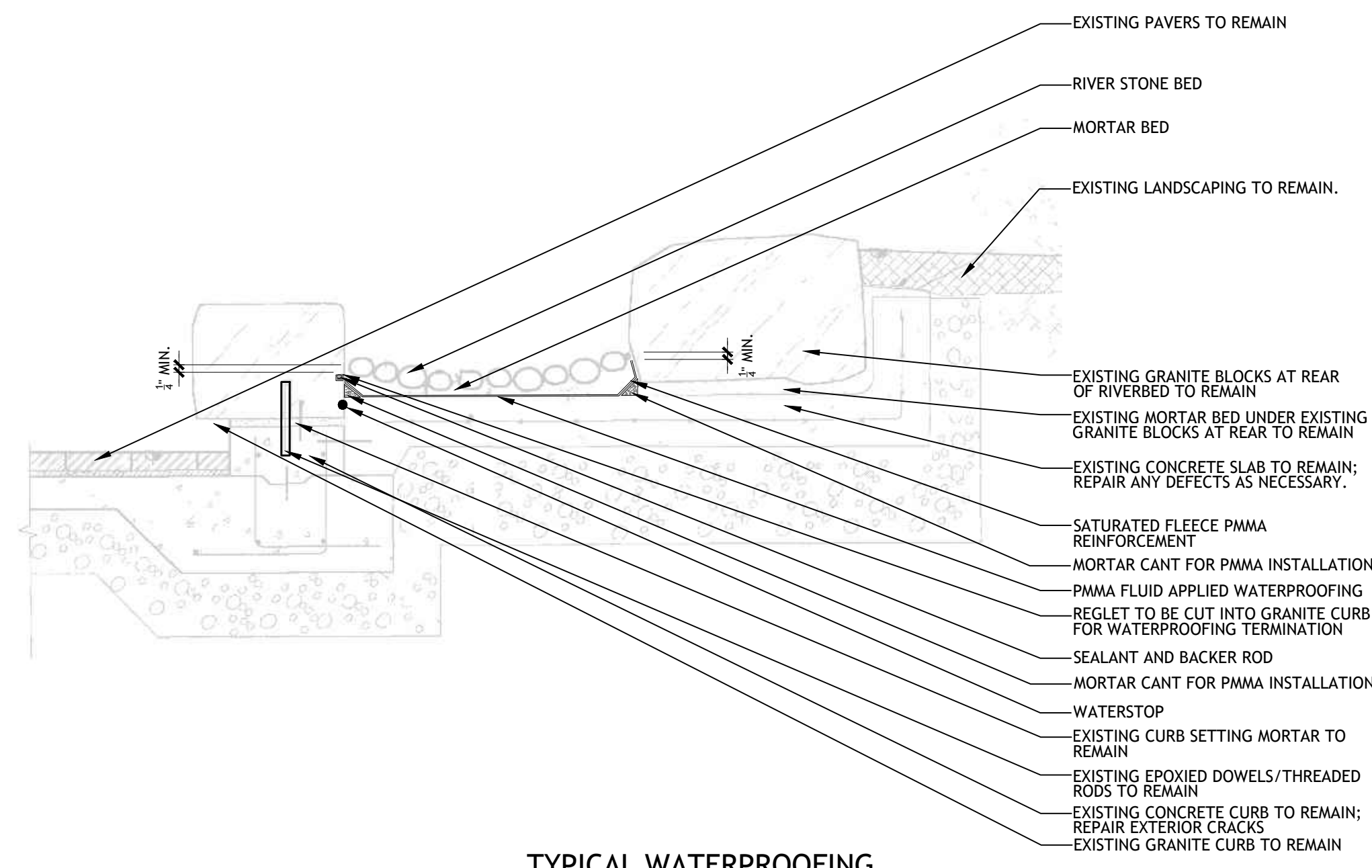
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EXISTING FOUNTAIN & RIVER BED PLAN

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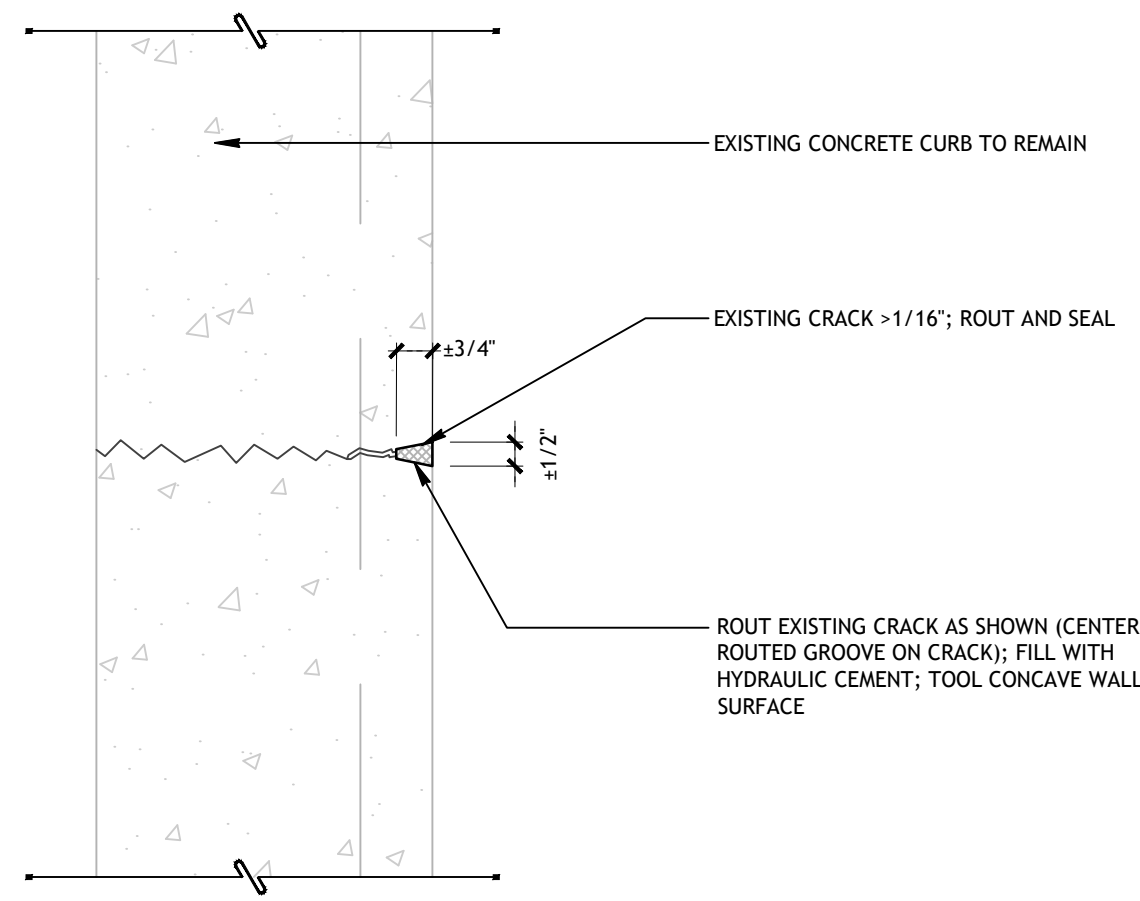
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DATE
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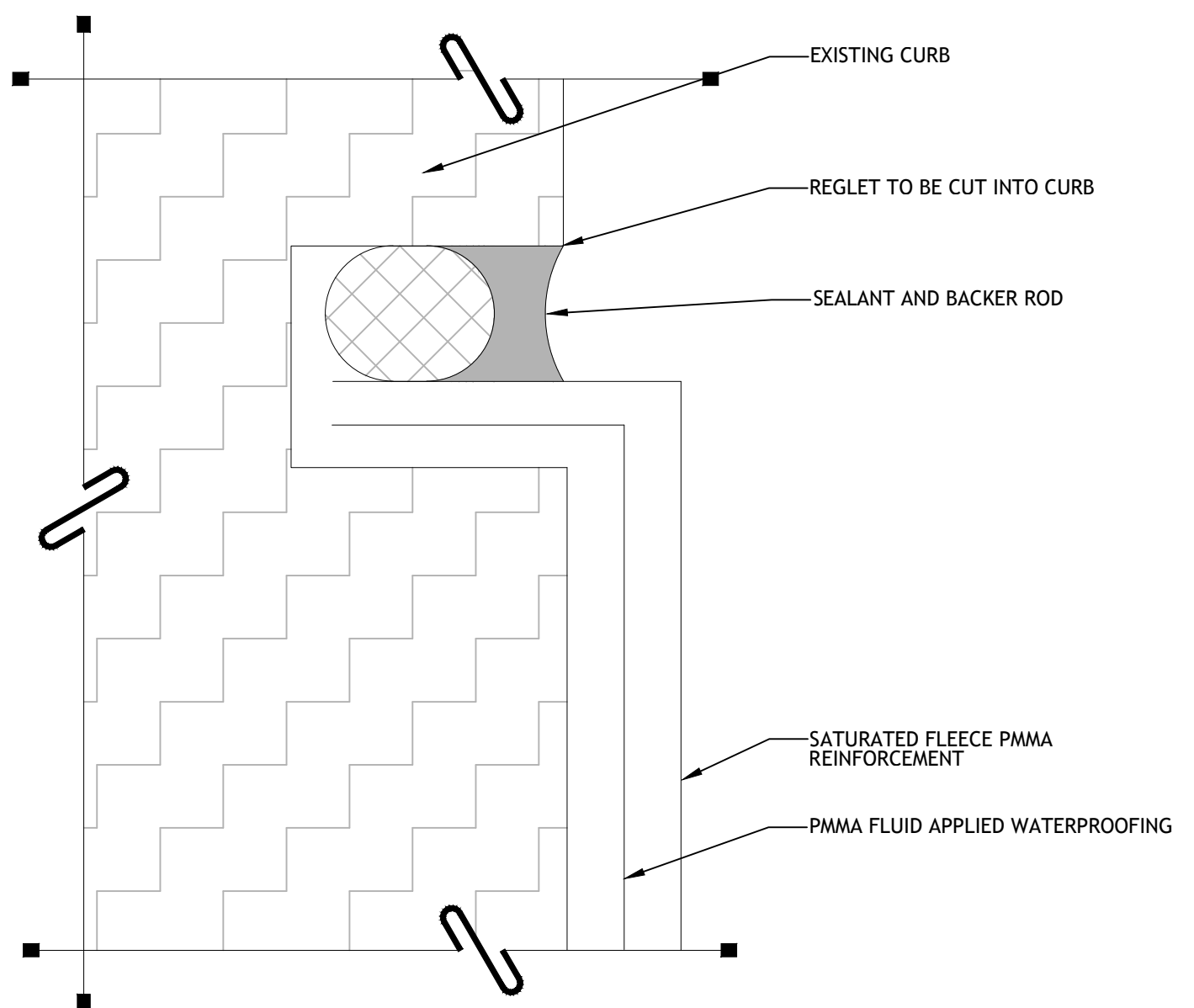


3 **TYPICAL WATERPROOFING WITH STREAM BED ABOVE CURB**

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

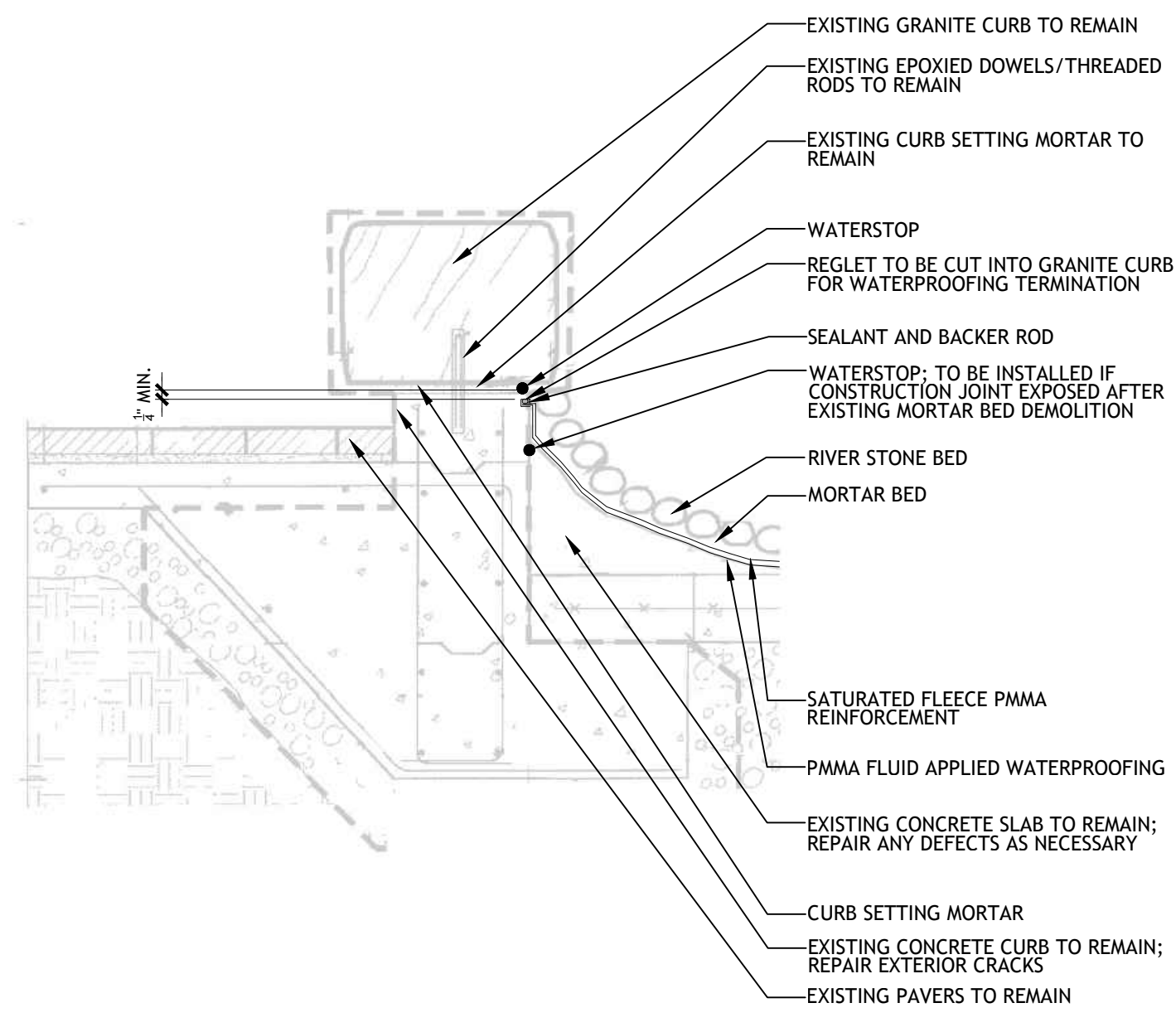


6 **ALTERNATE #1 - CRACK REPAIR DETAIL** VERTICAL
SCALE: 3" = 1'-0"



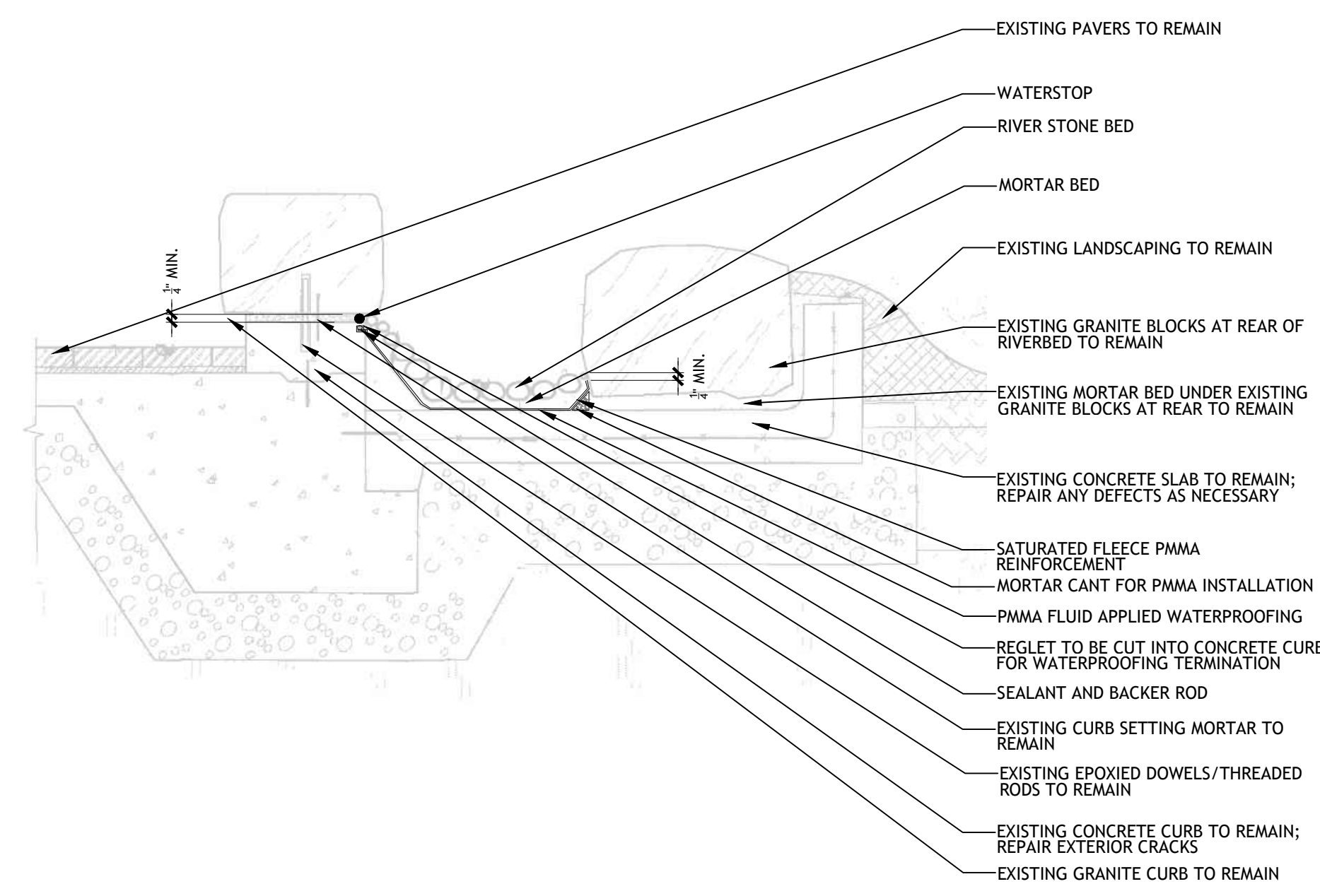
5 **TYPICAL REGLET INSTALLATION DETAIL**

SCALE: N.T.S.
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



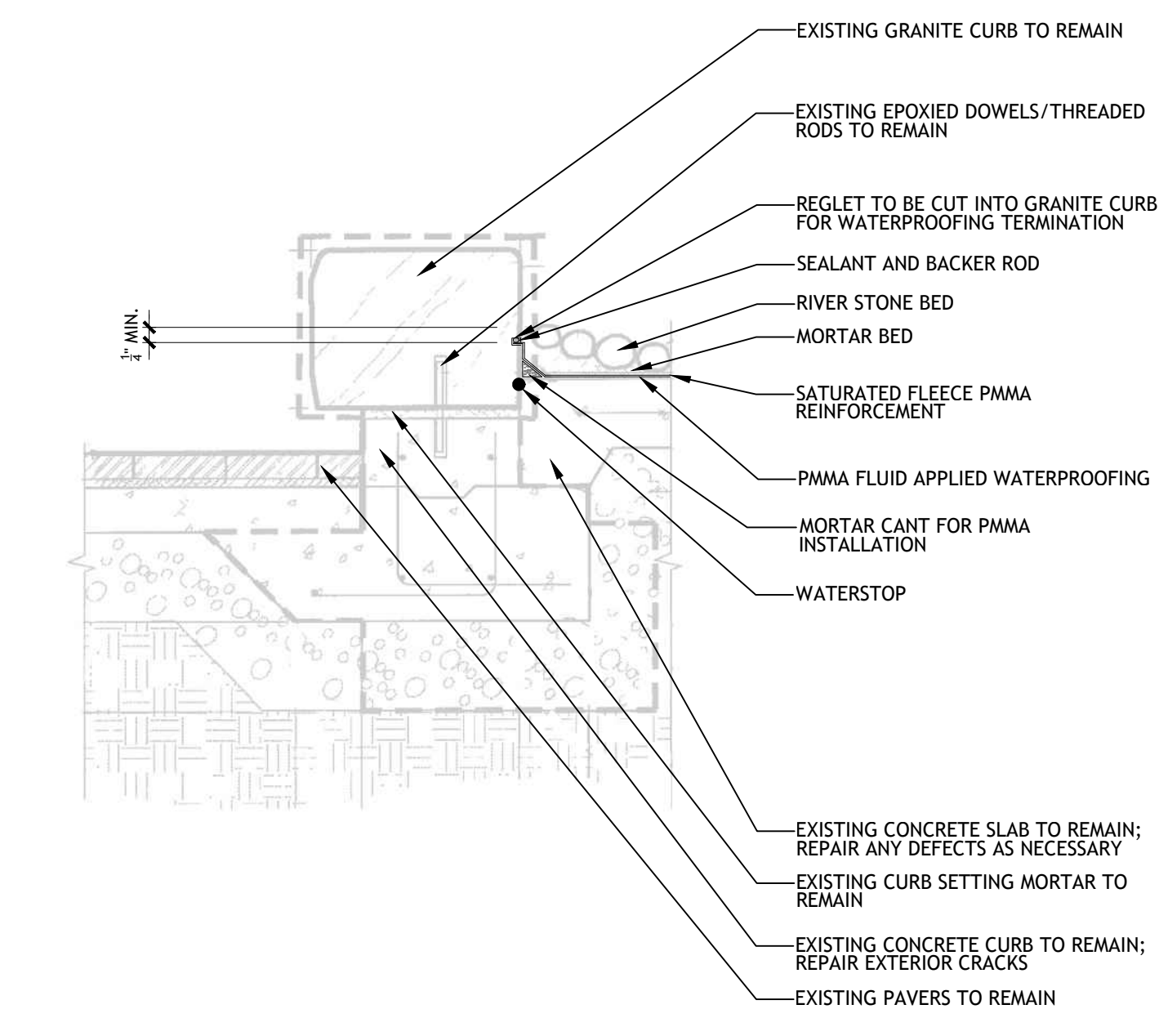
2 **TYPICAL WATERPROOFING WITH STREAM BED BELOW CURB**

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



4 **TYPICAL WATERPROOFING WITH STREAM BED BELOW CURB**

SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



1 **TYPICAL WATERPROOFING WITH STREAM BED ABOVE CURB**

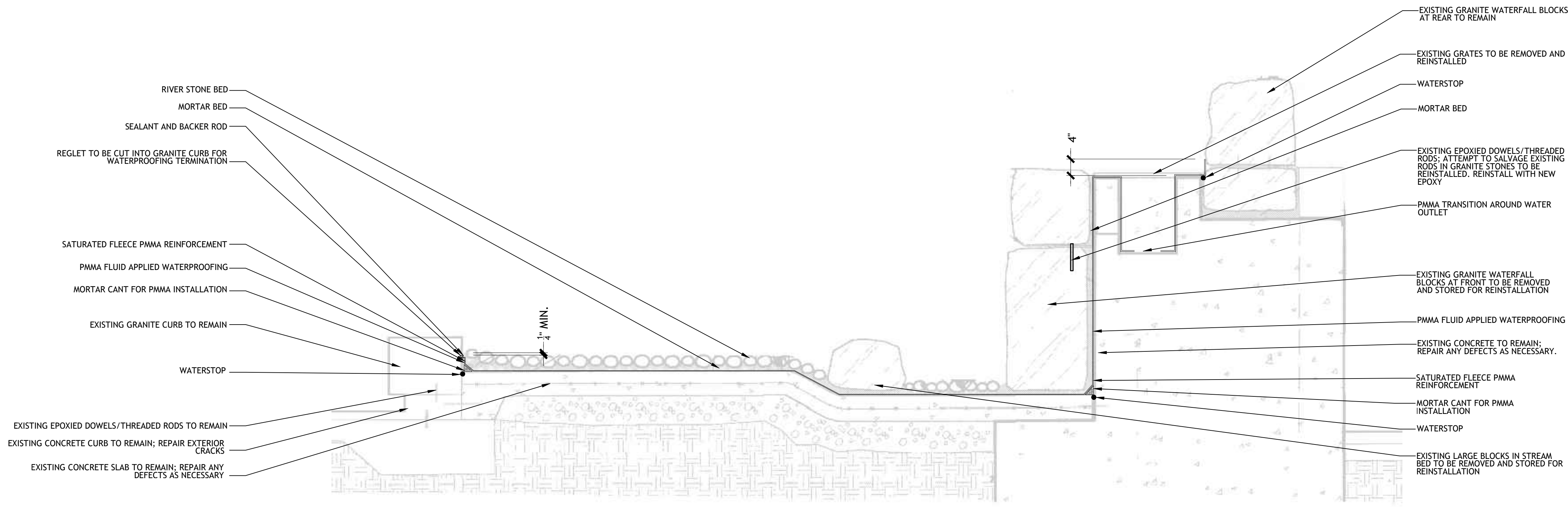
SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

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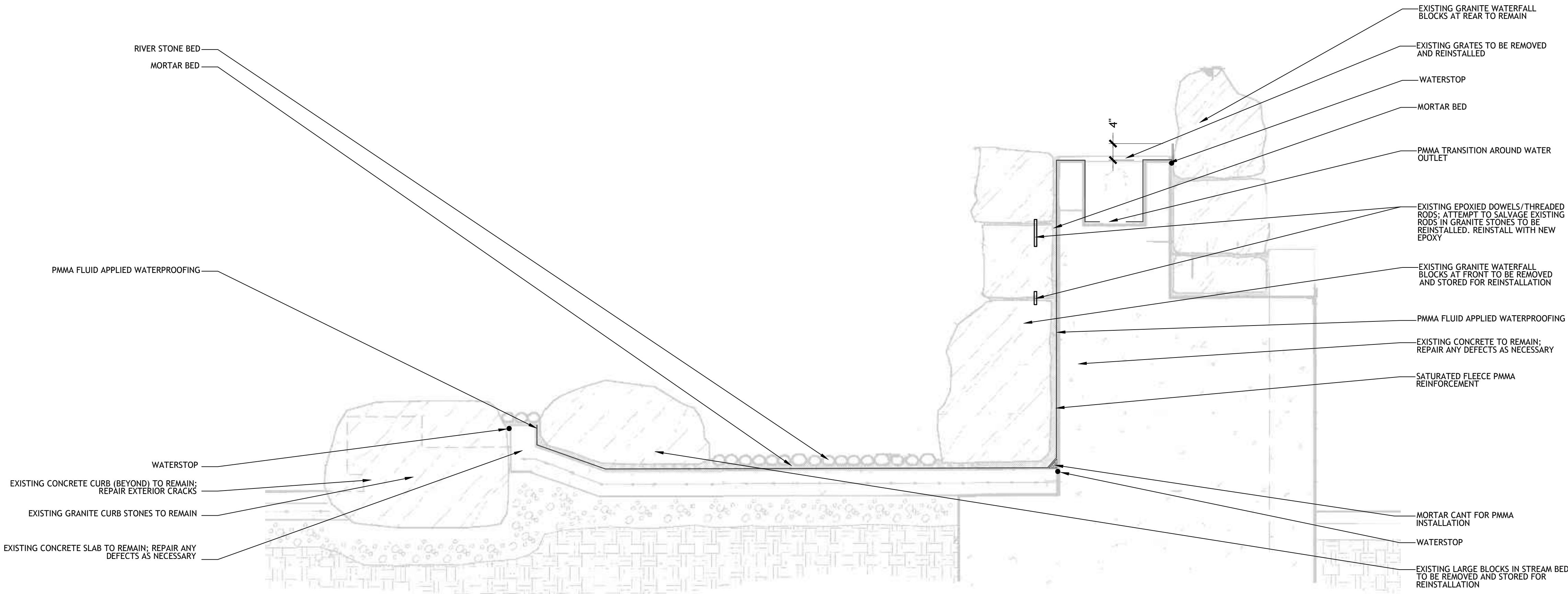
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| Date: | SEPTEMBER 27, 2024 |
| Proj. No.: | 2024031.01 |
| Scale: | AS NOTED |
| Drawn By: | APK |
| Checked By: | RG |
| File Name: | A7_0.dwg |

DETAILS



2 **TYPICAL WATERPROOFING WITH STREAM BED AND WATERFALL**
SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



1 **TYPICAL WATERPROOFING WITH STREAM BED AND WATERFALL**
SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

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Date: SEPTEMBER 27, 2024
Proj. No.: 2024031.01
Scale: AS NOTED
Drawn By: APK
Checked By: RG
File Name: A7_1.dwg

DETAILS

A7.1

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2024031.01 CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT - BID DOCUMENTS - SEPTEMBER 27, 2024

**CHINATOWN FOUNTAIN
STREAMBED
REPAIR
PROJECT**

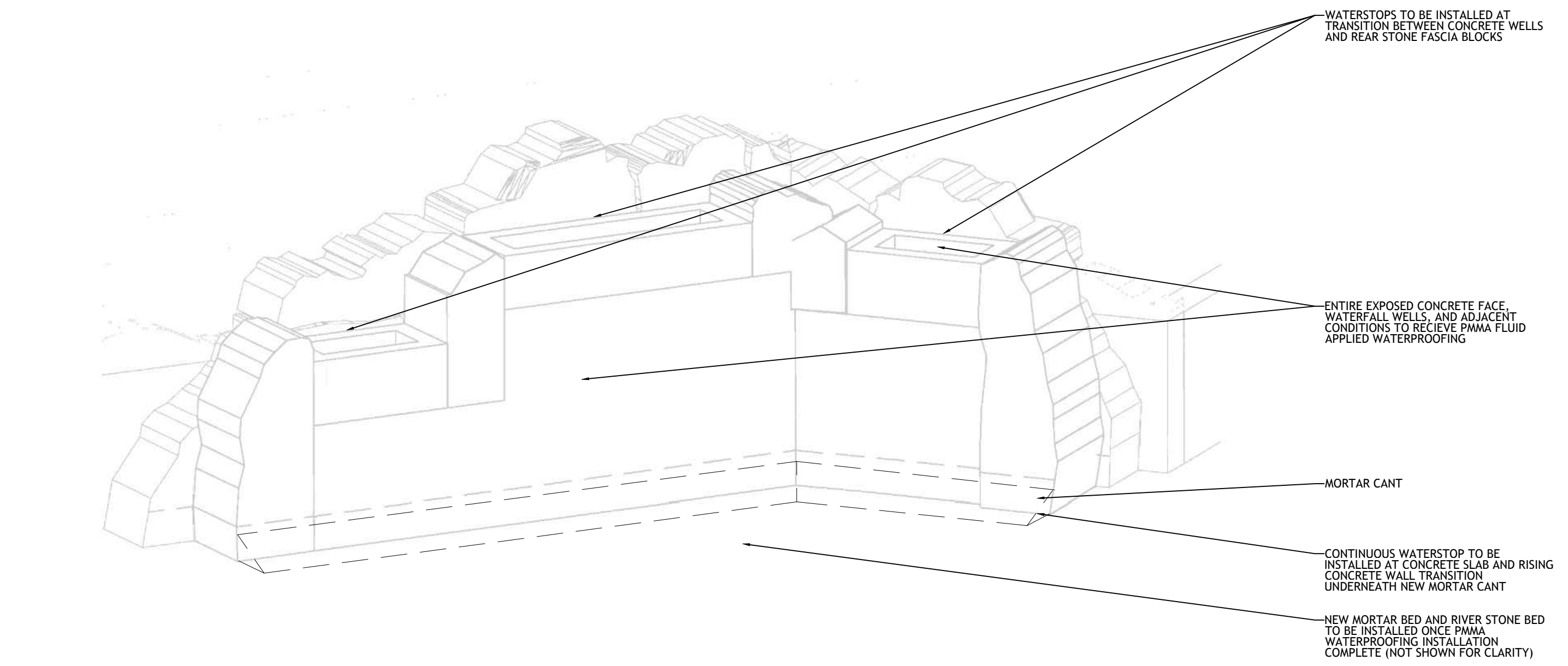
34W LINCOLN STREET
BOSTON, MA 02111

**ROSE KENNEDY
GREENWAY
CONSERVANCY**

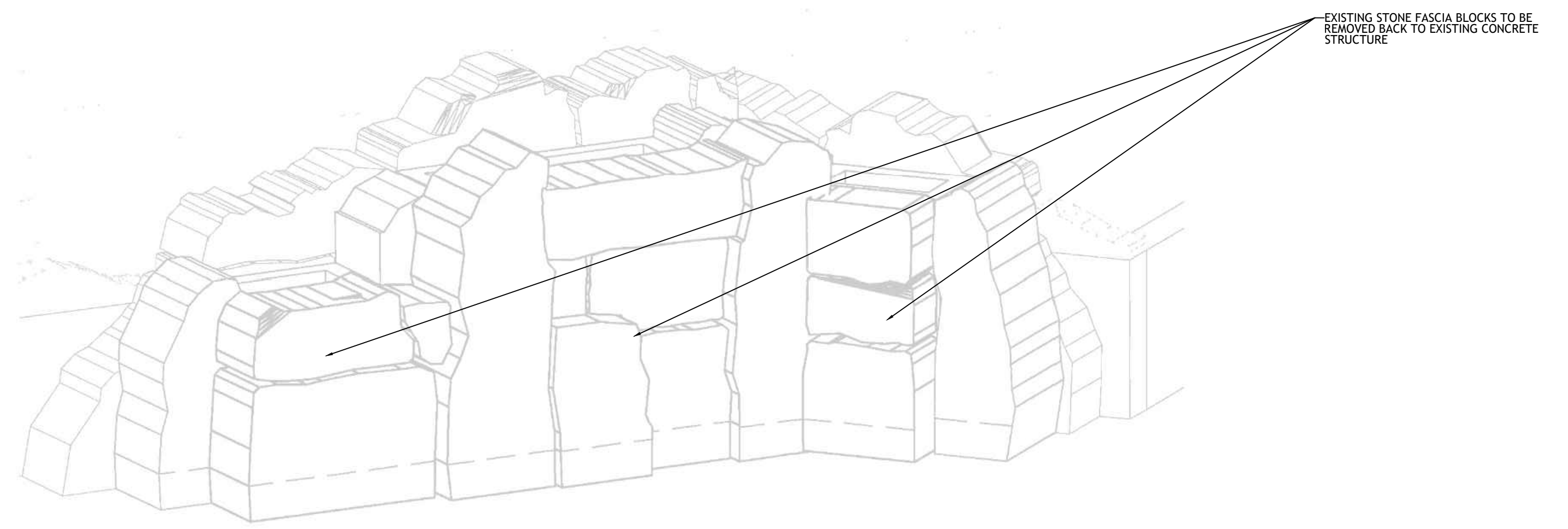
185 KNEELAND STREET
BOSTON, MA 02111

G | R | L | A

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
www.grlarchitects.com



2 EXISTING STONE WATERFALL FEATURE WITH FACE BLOCKS REMOVED
SCALE: NTS
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



1 EXISTING STONE WATERFALL FEATURE
SCALE: NTS
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

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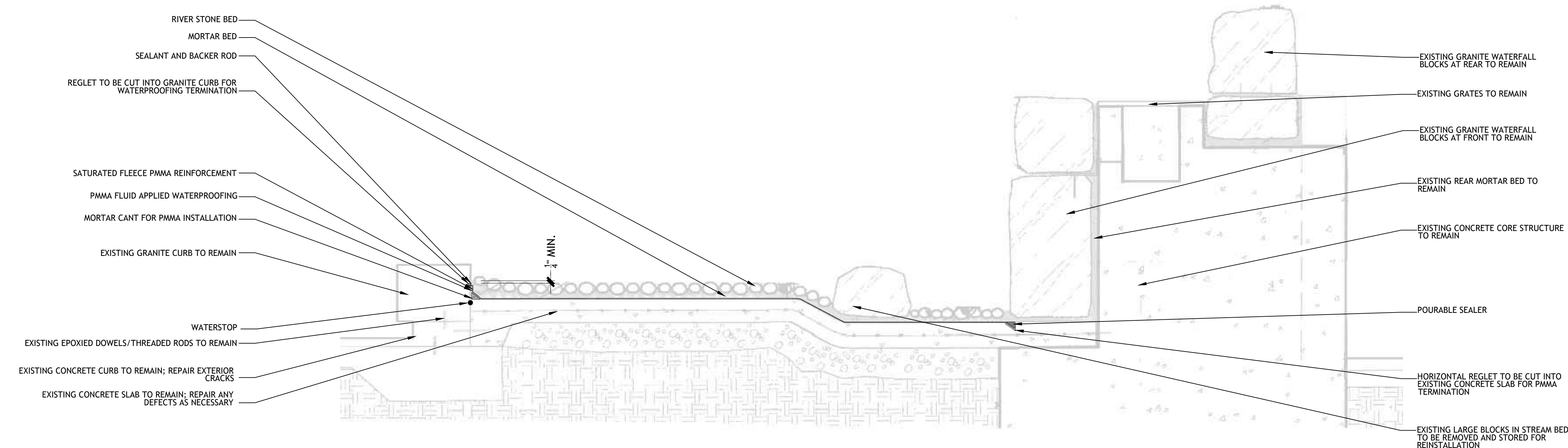
Date: SEPTEMBER 27, 2024
Proj. No.: 2024031.01
Scale: AS NOTED
Drawn By: APK
Checked By: RG
File Name: A7_2.dwg

DETAILS

A7.2

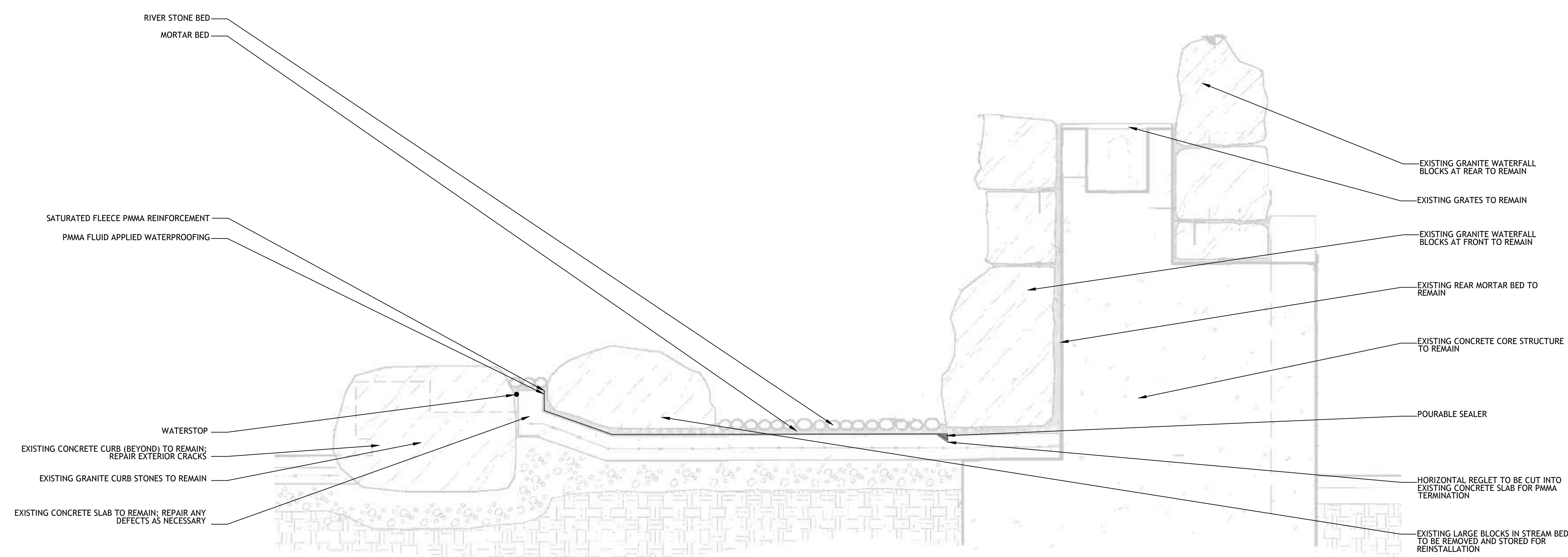
2024031.01 CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT - BID DOCUMENTS - SEPTEMBER 27, 2024

T:\PROJ\2024\2024-03-1-ChinatownFountain\01 Drawings\WORKING_SET\A7_2.dwg, 9/27/2024 1:20:57 PM, Acofllanin



NOTE: THIS ALTERNATE DETAIL IS BEING PROVIDED AS AN OPTION AS REQUESTED BY THE OWNER. THE ARCHITECT AND PMMA MANUFACTURER ARE IN AGREEMENT THAT PMMA INSTALLATION SHOULD BE A CONTINUOUS MONOLITHIC APPLICATION WITH VERTICAL TERMINATIONS. WARRANTY IMPLICATIONS FOR INSTALLING SUCH A DETAIL SHOULD BE PRESENTED UP FRONT WITH THE OWNER, ARCHITECT, AND PMMA MANUFACTURER.

2 ALTERNATE #2 - TYPICAL WATERPROOFING WITH STREAM BED AND WATERFALL
SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.



NOTE: THIS ALTERNATE DETAIL IS BEING PROVIDED AS AN OPTION AS REQUESTED BY THE OWNER. THE ARCHITECT AND PMMA MANUFACTURER ARE IN AGREEMENT THAT PMMA INSTALLATION SHOULD BE A CONTINUOUS MONOLITHIC APPLICATION WITH VERTICAL TERMINATIONS. WARRANTY IMPLICATIONS FOR INSTALLING SUCH A DETAIL SHOULD BE PRESENTED UP FRONT WITH THE OWNER, ARCHITECT, AND PMMA MANUFACTURER.

1 ALTERNATE #2 - TYPICAL WATERPROOFING WITH STREAM BED AND WATERFALL
SCALE: 3/4" = 1'-0"
NOTE: ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING
NOTE: DETAILS HAVE BEEN TAKEN FROM ORIGINAL CONSTRUCTION DRAWINGS. EXISTING ITEMS IN DRAWINGS NOT EXPLICITLY CALLED OUT TO BE CONSIDERED N.I.C.; ACTUAL FIELD CONDITIONS MAY VARY.

PROJECT

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Date: SEPTEMBER 27, 2024
Proj. No.: 2024031.01
Scale: AS NOTED
Drawn By: APK
Checked By: RG
File Name: A7_3.dwg

**ALTERNATE
DETAILS**

A7.3

2024031.01 CHINATOWN FOUNTAIN STREAMBED REPAIR PROJECT - BID DOCUMENTS - SEPTEMBER 27, 2024

EXHIBIT C

– See document(s) that follow –

Contractor:

BID FORM

| BASE BID | | | | | |
|----------|--|----------|------|------------|-------|
| LINE | ITEM | Quantity | Unit | Unit Price | Total |
| 1 | REMOVE AND DISPOSE OF EXISTING RIVER STONES AND MORTAR SETTING BED DOWN TO EXISTING SLOPED CONCRETE RIVER BED. | | SF | | |
| 2 | EXISTING STONE BLOCKS IN RIVERBED TO BE REMOVED AND STORED; REINSTALL AFTER INSTALLATION OF NEW WATERPROOFING SYSTEM AND MORTAR BED WITH EPOXY. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT. | | EA. | | |
| 3 | REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. OWNER AND ARCHITECT TO CONFIRM FINAL PLACEMENT. | | EA. | | |
| 4 | REPAIR ANY AND ALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE STRUCTURES TO REMAIN. (ASSUME 5% OF TOTAL SURFACE AREA). INFORM THE ARCHITECT AND OWNER IF ANY SIGNIFICANT DETERIORATION IS ENCOUNTERED DURING DEMOLITION PROCEDURES. | | SF | | |
| 5 | CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL SERVICES FOR RIVERBED LIGHTING. REMOVE AND DISPOSE OF EXISTING INSET RIVERBED LIGHTING; INSTALL AND CONNECT NEW INSET LED LIGHTING PER THE DIRECTION OF THE OWNER. | | EA. | | |

Contractor:

| | | | | | |
|--------------------------------|--|--|-----|---|--|
| 6 | NEW PMMA WATERPROOFING SYSTEM TO BE INSTALLED ON EXISTING CONCRETE RIVERBED STRUCTURE, CONCRETE CORE STRUCTURE AT WATERFALL, AND EXISTING WATERFALL WELLS. HORIZONTAL SURFACES TO RECIEVE TYPICAL PMMA SYSTEM; VERTICAL SURFACES TO RECIEVE PPMA FLASHING SYSTEM. NEW REGLETS TO BE CUT INTO EXISTING CONCRETE AND GRANITE CURBS FOR TERMINATION OF NEW WATERPROOFING. COORDINATE WITH ARCHITECT PRIOR TO PERFORMING WORK ON REGLETS. NEW WATERPROOFING SYSTEM TO TERMINATE APPROXIMATELY 1/4" BELOW NEW MORTAR/RIVER STONE SETTING BED. WATERSTOPS TO BE INSTALLED WHERE INDICATED. | | SF | | |
| 7 | INSTALL NEW MORTAR SETTING BED WITH NEW RIVER STONES TO IN-LIKE KIND CONDITION. | | SF | | |
| 8 | CONTRACTOR TO TEMPORARILY DISCONNECT ELECTRICAL AND/OR MECHNICAL SERVICES AS REQUIRED IN ORDER TO PERFORM THE WORK. RECONNECTION TO BE PERFORMED UPON COMPLETION OF THE WORK. | | EA. | | |
| SUB-TOTAL | | | | | |
| General Conditions | | | | % | |
| Permitting | | | | % | |
| Insurance & Bonding | | | | % | |
| Mobilization & Demobilization | | | | % | |
| Staging / Access | | | | % | |
| Charges & Fees (if applicable) | | | | % | |
| TOTAL BASE BID | | | | | |

Contractor:

Note:

All dimensions and quantities should be verified by the Contractor.

The Bid Form is meant to give a general break out of the overall scope and is not absolute. The bidder is required to price all scope outlined in the Bid Documents.

Discrepancies in the Bid Form and Bid Documents shall be brought to the Architect's attention in writing as outlined in the Bid Documents so that the Architect can provide a clarification.

| ALTERNATE #1 | | | | | |
|--------------------------------|---|----------|------|------------|-------|
| LINE | ITEM | Quantity | Unit | Unit Price | Total |
| 1 | (ADD) REPAIR CRACKS AT EXTERIOR CONCRETE CURB. REPAIR ANY ANDALL SPALLS, CRACKS, DEFECTS, ETC., IN EXISTING CONCRETE CURB TO REMAIN. ATTACHED GRANITE CURB TO REMAIN. | | LF | | |
| SUB-TOTAL | | | | | |
| General Conditions | | | | % | |
| Permitting | | | | % | |
| Insurance & Bonding | | | | % | |
| Mobilization & Demobilization | | | | % | |
| Staging / Access | | | | % | |
| Charges & Fees (if applicable) | | | | % | |
| TOTAL ALTERNATE #1 | | | | | |

Note:

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Discrepancies in the Bid Form and Bid Documents shall be brought to the Architect's attention in writing as outlined in the Bid Documents so that the Architect can provide a clarification.

Contractor:

| ALTERNATE #2 | | | | | |
|--------------------------------|---|----------|------|------------|-------|
| LINE | ITEM | Quantity | Unit | Unit Price | Total |
| 1 | (ADD) CUTTING OF A HORIZONTAL REGLET IN EXISTING CONCRETE SLAB IN FRONT OF WATERFALL GRANITE FASCIA. TERMINATION OF PMMA TO OCCUR AT THIS REGLET WITH COMPATIBLE POURABLE SEALER. (DEDUCT) REMOVE AND STORE EXISTING GRANITE FASCIA WATERFALL STONES; REMOVE STONES BACK TO CONCRETE CORE STRUCTURE CONTAINING EXISTING WATERFALL "WELLS". REINSTALL GRANITE FASCIA WATERFALL STONES AFTER INSTALLATION OF PMMA WATERPROOFING SYSTEM. INSTALLATION OF PMMA AT WATERFALL "WELLS" AND VERTICAL CONCRETE CORE STRUCTURE IN CONJUNCTION WITH ASSOCIATED WATERSTOPS AND OTHER ACCESSORIES. | | LF | | |
| SUB-TOTAL | | | | | |
| General Conditions | | | | % | |
| Permitting | | | | % | |
| Insurance & Bonding | | | | % | |
| Mobilization & Demobilization | | | | % | |
| Staging / Access | | | | % | |
| Charges & Fees (if applicable) | | | | % | |
| TOTAL ALTERNATE #2 | | | | | |

Note:

All dimensions and quantities should be verified by the Contractor.

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